

City of Red Bank
Municipal Planning Commission

WORK SESSION AGENDA
June 18th, 2019
12:00 pm
Red Bank City Hall

I. CALL TO ORDER

II. ROLL CALL – Secretary – Billy Cannon

- | | |
|---|---|
| <input type="checkbox"/> Commissioner Cannon | <input type="checkbox"/> Commissioner Millard |
| <input type="checkbox"/> Commissioner Hafley | <input type="checkbox"/> Commissioner Smith |
| <input type="checkbox"/> Commissioner Browder | |

III. Agenda items for the regular planning commission meeting:

A. CONSIDERATION OF THE MINUTES

1. May 16th, 2019

B. NEW BUSINESS

1. Zoning Map Amendment, C-1 Commercial to L-1 Light Manufacturing, 4825 Dayton Blvd, Duane Hixon
2. Zoning Map Amendment, R-1A Residential to R-T/Z Residential, 519 Marlow Dr E, Carolyn Robinson
3. Design Review Permit, 4707 Dayton Blvd, Red Bank Commons
4. Election of Officers

C. UNFINISHED BUSINESS

D. OTHER BUSINESS

IV. ADJOURNMENT

City of Red Bank
Municipal Planning Commission

REGULAR MEETING AGENDA
June 20th, 2019
6:00 pm
Red Bank City Hall

I. CALL TO ORDER

II. ROLL CALL – Secretary – Billy Cannon

- | | |
|---|---|
| <input type="checkbox"/> Commissioner Cannon | <input type="checkbox"/> Commissioner Millard |
| <input type="checkbox"/> Commissioner Hafley | <input type="checkbox"/> Commissioner Smith |
| <input type="checkbox"/> Commissioner Browder | |

III. INVOCATION – Commissioner Smith

IV. PLEDGE OF ALLEGIANCE – Commissioner Hafley

V. CONSIDERATION OF THE MINUTES

- A. May 16th, 2019

VI. NEW BUSINESS

- A. Zoning Map Amendment, C-1 Commercial to L-1 Light Manufacturing, 4825 Dayton Blvd, Duane Hixon
- B. Zoning Map Amendment, R-1A Residential to R-T/Z Residential, 519 Marlow Dr E, Carolyn Robinson
- C. Design Review Permit, 4707 Dayton Blvd, Red Bank Commons
- D. Election of Officers

VII. UNFINISHED BUSINESS

VIII. OTHER BUSINESS

IX. ADJOURNMENT

Eddie Pierce
Mayor

City of Red Bank
Municipal Planning Commission

Tim Thornbury
City Manager

MINUTES
May 16th, 2019
6:00 pm
Red Bank City Hall

I. CALL TO ORDER

Commissioner Smith called the meeting to order at 6:01 PM.

II. ROLL CALL – Secretary – Billy Cannon

Commissioner Browder called the roll. Commissioners Smith, Millard and Browder were in attendance. The Commission's planning advisors from the Southeast Tennessee Development District were also present. Additional attendees are included on the sign-in sheet.

III. INVOCATION

Commissioner Smith gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Commissioner Smith led the pledge of allegiance.

V. CONSIDERATION OF THE MINUTES

Motion by Commissioner Browder to approve the April minutes as written. Second by Commissioner Smith. The motion passed unanimously.

VI. NEW BUSINESS

1. Zoning Map Amendment, R-1 Residential to C-3 Neighborhood Commercial, 491 Ashland Terrace, Walter & Vanessa Amador

Staff noted that the applicant was not in attendance and suggested that the agenda item be moved to the end of the meeting in case they arrive late.

2. Zoning Map Amendment, R-1 Residential to R-3 Residential, 105 Brentwood Drive, Larry and Nancy Houston

The applicants, Larry and Nancy Houston, came forward to explain that they converted their upstairs to a one-bedroom apartment and wished to earn supplemental income by using the upstairs as a short-term rental unit. Mr. Houston stated that he was visually impaired and due to worsening vision, he would have to soon leave the workforce, and the additional source of income was needed to replace his wages. Mr. Houston explained

that they had spoken to their neighbors, and one was concerned about background screening of potential renters. Mr. Houston stated that he was looking into background screening services to use.

Commissioner Smith asked if they lived on the premises, and Ms. Houston stated that they did, and had lived there since 2007. Commissioner Browder asked Mr. and Ms. Houston if they were comfortable with the following conditions placed on the rezoning: short-term rental must be owner-occupied with the owner on site while it is rented, and no multi-family uses would be allowed. Mr. Houston said that they were comfortable with those conditions as they had no intention of converting the home into multi-family housing and assured the Commission that they would be on site whenever the upstairs was rented.

Commissioner Browder asked staff if it was possible to have the zoning revert back to R-1 if the house was no longer used as a short-term rental for a certain period of time. Staff stated that there was some precedent for such a condition. Commissioner Browder asked what length of time would be an appropriate length before it reverted to R-1, and staff stated that in state law 30 months is a common standard for non-conforming uses.

Commissioner Smith asked staff their views on the re-zoning. Staff stated that the property was located adjacent to a C-3 zone and higher density uses, so they felt R-3 was an appropriate zone and recommended approval with the conditions as stated by Commissioner Browder.

Commissioner Browder moved to approve rezoning the property to R-3, subject to the following conditions:

- (1) Investor-owned short-term rentals are prohibited, and the owner must be on-site while the property is rented.
- (2) Multi-family uses are prohibited.
- (3) The zoning will revert to R-1 if the property is not used as a short-term rental for twelve consecutive months.

Commissioner Millard seconded the motion. The motion passed unanimously.

Commissioner Browder reiterated that the motion passed because the R-3 zone was compatible with the adjacent properties.

3. Design Review Permit, 4707 Dayton Blvd, Red Bank Commons

Commissioner Smith asked staff about the status of this application. Staff stated that the application was incomplete because a stormwater plan was not included. Staff noted that the applicant, Eric Everett, was not present and he had not provided a site plan or elevation with the necessary clerical revisions.

Commissioner Browder moved to defer the decision on the site design until next month or until the application is completed. Commissioner Millard seconded the motion. The motion passed unanimously.

4. Temporary Use Request, Parking Space, 2400 Ashmore Avenue, Kiley Olds

Staff stated that a Mr. Kiley Olds, a disabled veteran, has requested a Temporary Use Permit to reserve a parking space in front of his home because it is closer to his house than his garage in the back of his house, and his disability makes walking to the his house and up the stairs difficult. Staff noted that the applicant was not in attendance but had attended the working meeting on Tuesday and discussed his request extensively with the Planning Commission. Staff recommended that a private solution be found, as this permit would contradict the city ordinance that disallows on-street parking and the ordinance that disallows backing in to a right-of-way. Staff suggested that if the HOA disallows a reserved parking sign in his yard, that one could be placed just inside the right-of-way and that the City of Red Bank could simply allow the sign.

Commissioner Browder stated that this is not an issue that the city can solve, and that Mr. Olds will need to find a private solution.

Commissioner Browder moved to deny the Temporary Use Permit request. Commissioner Smith seconded the motion. The motion passed unanimously.

1. (Cont'd) Zoning Map Amendment, R-1 Residential to C-3 Neighborhood Commercial, 491 Ashland Terrace, Walter & Vanessa Amador

Noting that the applicants were not in attendance and additional information was necessary, Commissioner Browder moved to defer the decision on the zoning map amendment until next month or such time that further information could be provided by the applicant. Commissioner Smith seconded the motion. The motion passed unanimously.

VII. UNFINISHED BUSINESS

VIII. OTHER BUSINESS

Commissioner Smith asked those in attendance if there was any other business. Mr. Liam Pincen, seated in the audience, stated that he was a realtor that was interested in how the rezoning process worked. Commissioner Browder suggested that he talk to staff.

IX. ADJOURNMENT

Commissioner Smith moved to adjourn the meeting; second by Commissioner Browder. Adjourned at 6:25 PM.



Southeast Tennessee Development District
www.sedev.org

MEMORANDUM

To: Members of the Red Bank Planning Commission
Cc: Tim Thornbury, Public Works Director
From: Ashley Gates, Regional Planner
Date: June 12, 2019
Subject: C-1 to L-1 Rezoning Request for 4825 Dayton Boulevard, Duane Hixson

SUMMARY	
Request: C-1 Commercial to L-1 Light Manufacturing	
Tax Map #: Map 0990 Group B Parcel 001.02	Address: 4825 Dayton Blvd.
Owner: Duane Hixson	Applicant: Duane Hixson
Area: 13.24 acres	Access: Dayton Blvd.; Browntown Rd.
Existing Use: Discount store; wholesale plumbing supplies; salon; offices	Proposed Use: In addition to existing uses, a school bus parking lot and 1,500 square foot office
Adjacent Uses: Large lot single family; fire station; government offices	Adjacent Zoning: R1-A; C-1

Background: An application has been submitted by Duane Hixson for the rezoning from C-1 to L-1 of a 13.24-acre property on Dayton Boulevard. The owner has using a portion of his existing parking lot for a school bus lot and a 1,500 square foot office for the employees. The parking lot will hold the school buses during the day and overnight while they are not in use by the independent contractor that operates the buses for Hamilton County Public Schools. The office space will hold offices for the independent contractor. These uses will be in addition to the existing commercial uses on the site.

Staff Recommendation: Deny rezoning to L-1. As a separate matter, the Planning Commission and Board of Commissioners can consider whether the proposed use is similar in character and impact to outdoor storage uses permitted in the C-1 zone.

ANALYSIS

Existing and Proposed Use

The subject property is a 13.24 acre commercial property at 4825 Dayton Boulevard. The property has 913 feet of frontage on Dayton Boulevard and 566 feet of frontage on Browntown Road. The property is occupied by a discount store (B&B Discounts), a beauty salon, a wholesale plumbing supply store, and offices. With the exception of 1,500 square feet of office space, the building the 46,000 square foot building is fully occupied.

The owner wishes to lease the remaining office space and a portion of the parking lot to Hamilton County Department of Education. First Student, Inc., an independent contractor for HCDE, would occupy the offices and operate the school buses that are parked in the lot. In addition to the bus lot, approximately 60 vehicles for the employees operating the buses would be parked on the existing parking lot next to the office.

The owner of the property plans to make improvements to the lot, including resurfacing the portion where the buses will be parked and striping as needed. Hamilton County Department of Education would also make improvements to the lot, fencing in the portion of the lot where the buses will be located. Their proposed lease agreement states that the fencing will preserve access to the driveway leading to the back of the retail center. The independent contractor may also install a security system for the bus lot.

Neither maintenance nor fueling of the buses will not take place on property. The buses will be in operation during their morning and afternoon routes each school day. The buses return to the lot in between scheduled routes and each night.

Currently, the buses are stored at the parking lot of Hixson High School. HCDE is seeking a location that can be fenced to better secure the vehicles.

Street view from Dayton Boulevard, 2016



Zoning and Land Use Map



Zoning Ordinances

Permitted Uses

The existing uses in the buildings are permitted under C-1 zoning but would become non-conforming uses if the property is re-zoned to L-1. Future retail uses would not be permitted on the site if it were rezoned as L-1.

The proposed bus lot can be considered a type of outdoor storage. Outdoor storage is permitted in L-1, provided that it meets the screening requirements listed in Chapter IX of the Zoning Ordinance. The facility does abut a residential zone, so Type A screening would be required.

Outdoor storage is allowed in the C-1 zone as well, with some restrictions:

Section 14-4-402.02(L)

Outdoor display or storage or sale of merchandise between 8:00 a.m. and 8:00 p.m. and provided further that any such display, storage or sale shall not occupy more than 33 1/3% of the frontage space of the outdoor street facing facade of the building itself nor more than 33 1/3% of any area between the front facade of the building and the public right-of-way and may not obstruct the entrance to the building to pedestrian

traffic or otherwise interfere with the required minimum number of off street parking spaces available for the premises as otherwise provided. Permitted uses exempt from outdoor storage requirements in this Section include 79

- 1) New and Used car, motorcycle, boat, farm equipment dealers;
- 2) Gasoline Service Stations and Auto repair centers;
- 3) Hardware stores; Home Improvement stores;
- 4) Grocery stores;
- 5) Uses similar to the above in character and impact;

If the proposed bus lot is determined to be of a use similar in character and impact to the uses listed above, re-zoning would not be required.

Dimensional Requirements

The existing building and paved lot will meet the dimensional requirements in the L-1 zoning district and the C-1 zoning district.

Screening

Changing from the C-1 to L-1 district would change the screening requirement to Type A. The screening between the property and the adjacent office use would need to be Type B. It is possible that the existing vegetation on the property could be used to meet these requirements.

902.02 Screening Type Requirements

(A) Screening Type A: Provide a thirty (30) feet deep (as measured towards the interior of the property) landscape yard along the shared property line planted with:

- 1) Evergreen trees spaced a maximum of ten (10) feet on-center or two (2) staggered rows (spaced a maximum of seven (7) feet apart) of shrubs spaced a maximum of eight (8) feet on-center, and two (2) rows of shade trees spaced a maximum of thirty-five (35) feet on-center.
- 2) All plantings shall meet the installation and planting size requirements specified in the Plant Installation Specifications section.

(B) Screening Type B: Provide a twenty (20) feet deep (as measured towards the interior of the property) landscape yard along the shared property line planted with:

- 1) Evergreen trees spaced a maximum of ten (10) feet on-center or two (2) staggered rows (spaced a maximum of seven (7) feet apart) of shrubs spaced a maximum of eight (8) feet on-center, and one (1) row of shade trees spaced a maximum of thirty-five (35) feet on-center.
- 2) All plantings shall meet the installation and planting size requirements specified in the Plant Installation Specifications section.

Design Review Standards

The addition of new fencing along Dayton Boulevard would require the property to meet the design review standards, regardless of zone. Design standards applicable to this development include, but are not limited to, screening of the parking lot, sidewalk installation, and fencing. Fencing that screens property from view from the public right-of-way is limited to a maximum height of six feet, which may not meet the needs of Hamilton County Department of Education.

Land Use Plan

The development of a bus lot facility at this location could be interpreted to be in conflict with the F-Goal in the Land Use Plan:

F-GOAL: Assure that certain areas of Dayton Boulevard are protected from incompatible and less desirable commercial uses and encourage new and diverse commercial development for all commercial areas.

The Planning Commission has restricted outdoor storage uses within the C-1 zone and required future parking lots to be built behind buildings along the entirety of Dayton Boulevard per the Design Review Standards. These actions demonstrate that both surface parking and outdoor storage are considered less desirable commercial uses along Dayton Boulevard.

A bus lot similar to the one proposed is located at 4304 Dayton Boulevard, which is in the C-3 Neighborhood Commercial Zone. This lot holds between 10 and 15 buses. The impact would be much smaller in scale, but it is similar in character to the proposed bus lot. This particular lot was put in place before the Design Review Standards were adopted, so additional screening would be required for the proposed bus lot.

Bus Lot at 4304 Dayton Boulevard, 2018.



Also similar in nature are the diesel fuel station and recycling center, both within 115 feet of the property. These properties both have large vehicles entering and leaving throughout the day, though they do not store these vehicles on the premises.

Rezoning the property from C-1 to L-1 would have the secondary impact of prohibiting any future retail or commercial use in this space. The property has several commercial uses already in place: a discount store, wholesale plumbing supply store, salon, and offices. The only vacancy in the building is the 1,500 square foot office space that would be used by the independent contractor that will be operating the buses. These uses would be legal non-conforming uses and could not be replaced additional retail or commercial uses should they be discontinued for 100 days or more.

The Land Use Plan does not specify a preferred location for L-1 Light Manufacturing development in Red Bank. If this area is deemed appropriate for future light manufacturing uses, the zoning map amendment should indicate what characteristics on this portion of Dayton Boulevard make light manufacturing a compatible and desirable use.

The development may also be interpreted to be in conflict with G-Goal:

G-GOAL: Improve the overall quality and appearance of multi-family, office, commercial and industrial uses.

By adopting the Design Review Standards along the entirety of Dayton Boulevard, the Red Bank Commission has demonstrated that they consider surface parking between buildings and the Right-of-Way to be undesirable. The improvements proposed by Hamilton County Department of Education would need to go through the design review process, which would require screening and landscaping of the parking lot.

Compatibility with Surrounding Uses

Abutting properties include a large lot single-family residence on Browntown Road, a fire station, and a small state government office. The proposed bus lot may produce additional traffic during certain times of day, as well as noise and odor from the fuel. The impact of the odor and noise will be mitigated by the distance between the bus parking lot and the neighboring residences. Additionally, the site is near other commercial uses that create similar noise and odors, including a recycling center, autobody repair show, and vehicle fueling and service station all within 115 feet of the property.

The bus lot will hold about 55 buses. Each bus will leave and return twice per day. Additional traffic impact will come from the approximately 60 employees that will be driving the buses. Assuming four trips for each bus and two trips for each employee, this would add about 340 trips to that area of Dayton Boulevard. The average traffic count on Dayton Boulevard north of the site was 5,070 in 2016. To the south of the site, it was 10,943.

There is no traffic light at the entrance nearest to where the buses will be parked. If the buses were to leave during peak traffic and if the timing of their departures is not staggered, it could cause significant traffic delays for short periods of time.

The employees would most likely use the Browntown Road entrance, adding about 120 trips to that road specifically. There is a traffic light at this intersection.

RECOMMENDATION

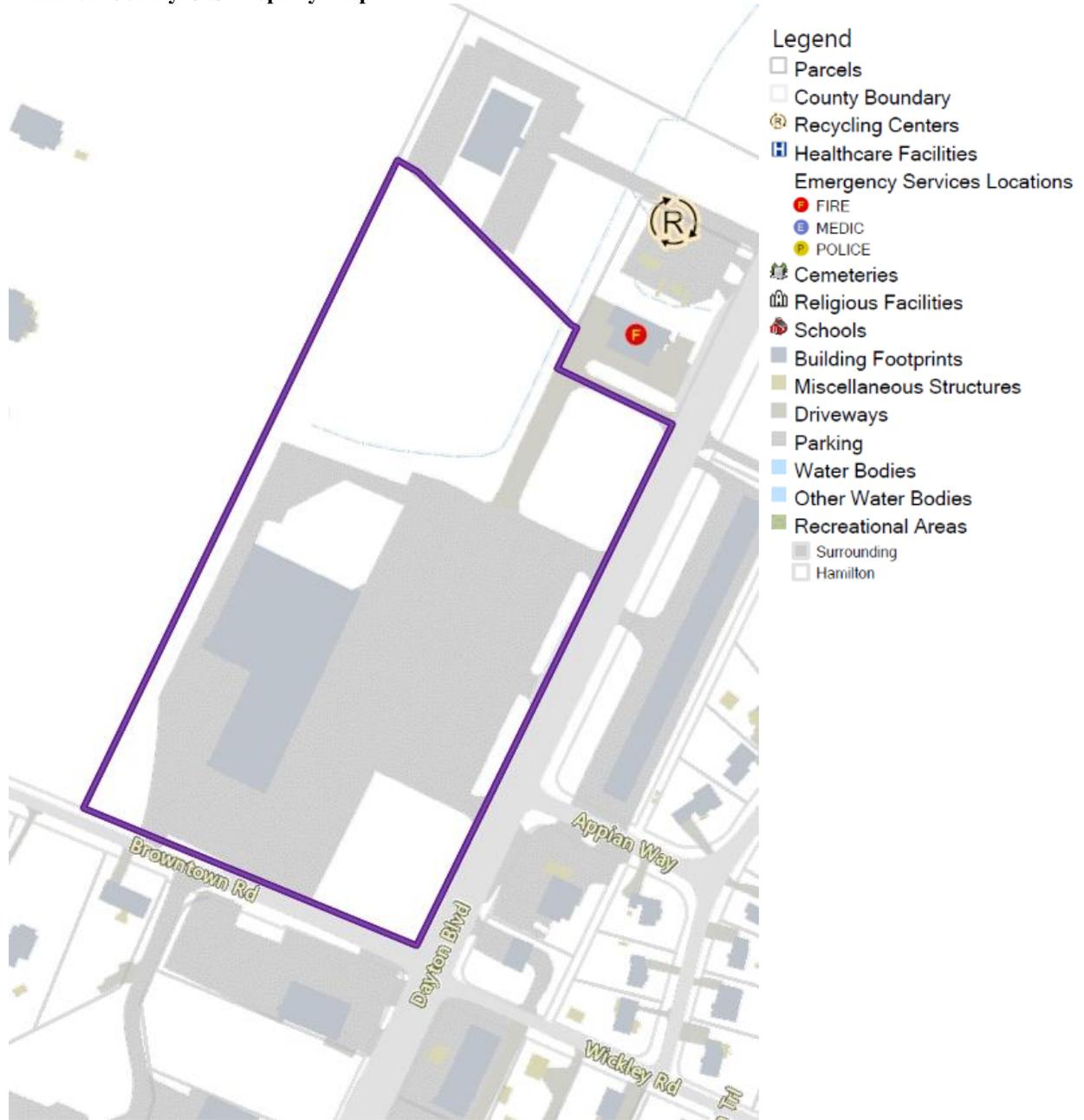
Staff recommends that the rezoning request be denied.

The Planning Commission can consider whether the proposed bus lot is similar in character and impact to the permitted uses in the C-1 zone as a separate matter.

If the rezoning is approved or the use permitted by the Red Bank City Commission on recommendation of the Planning Commission, the applicant will be required to submit a Design Review application prior to constructing the fencing along Dayton Boulevard.

APPENDIX

Hamilton County GIS Property Map



0 200.00 400.0 Feet

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
© Latitude Geographics Group Ltd.

Disclaimer: This map is to be used for reference only, and no other use or reliance on the same is authorized. This map was automatically generated using HCGIS Mapping System. Parcel lines are shown for reference only and are not intended for conveyances, nor is it intended to substitute for a legal survey or property abstract.

Property Card

Hamilton County, Tennessee

Unofficial Property Card

Location 4825 DAYTON BLVD	Property Account Number 27634	Parcel ID 0990_B_001.02
Property Type 08	Land Use 540	District RED BANK

Current Property Mailing Address

Owner **HIXSON DUANE** City **CHATTANOOGA**
State **TN**
Address **4825 DAYTON BLVD, STE B** Zip **37415**

Current Property Sales Information

Sale Date **6/15/2016** Legal Reference **10773-0952**
Sale Price **\$725,000** Grantor(Seller) **ARTWIL & COMPANY**

Current Property Assessment

Building Value **\$416,500**
Xtra Features Value **\$115,400**
Land Value **\$697,200**
Total Value **\$1,229,100**
Assessed Value **\$491,640**

Narrative Description

This property is classified as **COMMERCIAL** with a(n) **WHSE DISC ST** style structure on this card, built about **1980** with **46,294** square feet. Total square footage for all structures on this property is **46,294**.

Land Description

The total land area of this property is (13.24 acres).

Legal Description

LT 1 ARTWIL & COMPANY SUB PB 90 PG 150 REV 90-174

Property Images



No Map
Available

Paid Rec # 15136
④ 5/16/2019

Zoning Board
Application For Zoning Amendments or Changes of Zone Use
City of Red Bank, Tennessee

General

The proposed change or amendment must first be referred to the Red Bank Planning Commission for a recommendation. The Board shall give at least fifteen (15) days notice of the time and place for a public hearing, which shall be held in regard to the proposed changes or amendments. The notice shall be published in a newspaper of general circulation in the City. Certified notices shall be mailed to all property owners within 175 feet of the property under consideration for a change or amendment. The cost of the application and advertising is \$100.

1. Name of applicant Duane Hixson
2. Street Address 4825 Victoria Blvd
3. City Red Bank State TN Zip 37415
4. Telephone Number 706-271-7635
5. Are you the owner of the property yes no
6. Please attach a drawing of the property boundaries and all property within 175 feet of the property under consideration. Show all easements, utility locations, and buildings. Use a 1/8 minimum scale. Describe any unusual physical characteristics of the property such as wetlands, steep grades, ravine, etc.
7. Please provide the names and addresses of all property owners within 175 feet of the property requesting a change or amendment.
8. What is the present zoning classification for the subject property? C1
9. What is the requested zone desired or proposed use of the property? L1
10. Are you requesting a special conditional use of the property? See Attached Document
11. Is the proposed use compatible with that of surrounding properties? yes

I certify that the above information is true and accurate to the best of my knowledge and belief Duane Hixson Date 5/16/19

Amount Paid \$150 Date Paid 05/16/2019 By signing this application I understand that the application fee is non refundable.

Recommendation of the Planning Commission _____
Date Reviewed by the Planning Commission _____
Action of the Zoning Board _____
Date Reviewed by the Zoning Board _____
List of any special conditions that may apply to the zoning _____
Approved by Ordinance Number _____ Date _____

**LEASE AGREEMENT BETWEEN THE
HAMILTON COUNTY BOARD OF EDUCATION
AND DUANE HIXSON**

This Lease Agreement is entered into between the Hamilton County Board of Education and Duane Hixson, hereinafter "the Lessor," on May 23, 2019, for the purpose of establishing a bus depot to be used and operated by the Board of Education's transportation contractor, First Student, Inc.

WHEREAS the Hamilton County Board of Education, hereinafter "the Board," is a local education agency existing pursuant to the laws of the state of Tennessee; and

WHEREAS the Board has contracted with First Student, Inc., for the purpose of providing transportation services to students across Hamilton County, Tennessee; and

WHEREAS as part of this contract, the Board has agreed to provide First Student, Inc., with sufficient facilities to park buses and to manage its operations; and

WHEREAS the Lessor owns a parcel of property located at 4825 Dayton Boulevard in Red Bank, Tennessee, that would be suitable for use by First Student, Inc.; and

WHEREAS the Lessor is willing to lease part of this property to the Board for the purposes set forth within this Lease Agreement;

SO THEREFORE, PREMISES CONSIDERED the Board and the Lessor do hereby agree as follows:

3. **Leased premises.** During the term of this Lease, the Board shall have exclusive use and control of the following property, the specific references to which will be agreed upon by the parties and incorporated into **Exhibit 1** as soon as practicable. In the event the parties are unable to agree to the description of the leased properties within 90 days of the execution of this Lease Agreement, then this Lease Agreement shall become voidable upon the election of either party.
 - a. **Office space.** Approximately 1500 square feet of office space located at the southernmost end of the existing retail center, presently abutting a hair salon and a plumbing supply store.
 - b. **Parking lot.** Parking space located adjacent to the above referenced office space sufficient for approximately 60 cars to be used by the employees of First Student, Inc. and such employees of the Board as may need to be on site from time to time. The Board or First Student, Inc. may install fencing to secure this parking lot, provided that care shall be taken not to interfere with the public's access to the Lessor's other business operations.
 - c. **Bus lot.** Parking space located in the northernmost end of the property sufficient for approximately 55 school buses to maneuver and park. This bus lot will start at the northernmost edge of the existing retail center and will run to the road frontage and to the northern edge of the property, encompassing approximately 75,000 square feet. The Board or First Student, Inc. may install fencing to secure this bus lot, provided that care shall be taken to preserve the Lessor's access to the drive leading to the back of the retail center.
4. **The Board's responsibilities.** During the term of this Lease, the Board will be responsible for the following:
 - a. **Improvements.** The Board is responsible for any improvement it chooses to make to the leased premises. Such improvements may include, but are not be limited

to, fencing, gates, security cameras, etc. Any such improvements will be done in a workmanlike manner and will be reasonably aesthetic given their intended purpose.

- b. **Upkeep of the premises.** The Board shall be responsible for day-to-day maintenance and upkeep of the leased premises including, but not limited to, painting, cleaning, and waste disposal so that the leased property has a clean, orderly appearance. If the Lessor has any concerns regarding the condition of the leased premises, he will bring these concerns to the immediate attention of the Board, and the parties will collaborate in good faith to address these concerns.
- c. **Permits.** The Board will be responsible for any permits or licenses necessary to use the leased premises in accordance with the intended purpose of this Lease Agreement.

5. **Lessor's responsibilities.** During the term of this Lease, the Lessor will be responsible for the following:

- a. **Taxes.** The Lessor will be responsible to pay all property taxes on all property leased to the Board and used by First Student, Inc., including
- b. **Utilities.** The Lessor will be responsible to pay for utilities, including lighting in the employee parking lot and the bus lot. The Lessor will also be responsible for light, heat, water, and any other utilities necessary to maintain the office space.
- c. **Maintenance.** The Lessor will be responsible for maintaining all utilities and related fixtures, including the lights, the plumbing, heating and air-conditioning units, water fixtures, ceilings, flooring, sidewalks, etc. In the event the Board has any concerns about the condition of the property under control of the Lessor, the Board shall bring its concerns to the immediate attention of the Lessor, and the parties will cooperate in good faith

to address them.

6. Condition of the property.

- a. **No warranties.** The Board has had the opportunity to inspect the property and accepts its condition as is. The Lessor makes no representations or warranties about the suitability of the property for the Board's intended purpose, and the Lessor therefore disclaims any responsibility for the property being in any particular condition.
- b. **Wear and tear.** The Lessor understands and agrees that Board will be using the property as a bus depot at therefore understands and accepts that the use of his property will likely result in ordinary wear and tear on the parking surface. The Lessor, therefore, agrees that the Board will not be responsible for this ordinary wear and tear inasmuch as this use has been envisioned in arriving at the agreed-upon monthly rental payment.

- 7. **Entire agreement.** This lease agreement, along with Exhibit 1, setting forth the more specific description of the property, incorporated herein by reference, contains the entire agreement of the parties.

IN WITNESS WHEREOF we have set our hands this the ____ day of May, 2019.

Duane Hixson

Hamilton County Board of Education

By: _____
Name: _____

By: _____
Name: _____

Title: _____

Title: _____

Date: _____

Date: _____



Southeast Tennessee Development District
www.sedev.org

MEMORANDUM

To: Members of the Red Bank Municipal Planning Commission
From: Brian Taylor, SETDD Regional Planner
Date: June 12, 2019
Subject: Rezoning Request for 519 Marlow Dr E, R-1A to R-T/Z

SUMMARY

Request: R-1A to R-T/Z Residential Townhouse / Zero Lot Line	
Tax Map #: Map 109C Group G Parcels 004	Address: 519 Marlow Dr E
Owner: Carolyn Robinson	Applicant: Carolyn Robinson
Area: 0.406 acres	Floodplain: No
Existing Use: single-family residence	Proposed Use: 3 single-family detached homes
Adjacent Uses: single-family residential	Adjacent Zoning: R-1A

Background: An application has been submitted by Carolyn Robinson for the rezoning from R-1A to R-T/Z of a property at the corner of Delashmitt Road and Marlow Dr E. The owner of the property intends to subdivide the property into three lots for single-family homes.

Recommendation: Approval of the rezoning from R-1 to R-T/Z.

ANALYSIS

Existing and Proposed Use

The subject property is an 0.4-acre parcel located at the corner of Marlow Drive E and Delashmitt Road. The parcel has approximately 200 feet of frontage on Marlow Drive and 90 feet of frontage on Delashmitt Road. The parcel is occupied by an existing single-family home with access to public sewer and water on Delashmitt Road. The subject property and existing home are shown in the streetview image and property map below.

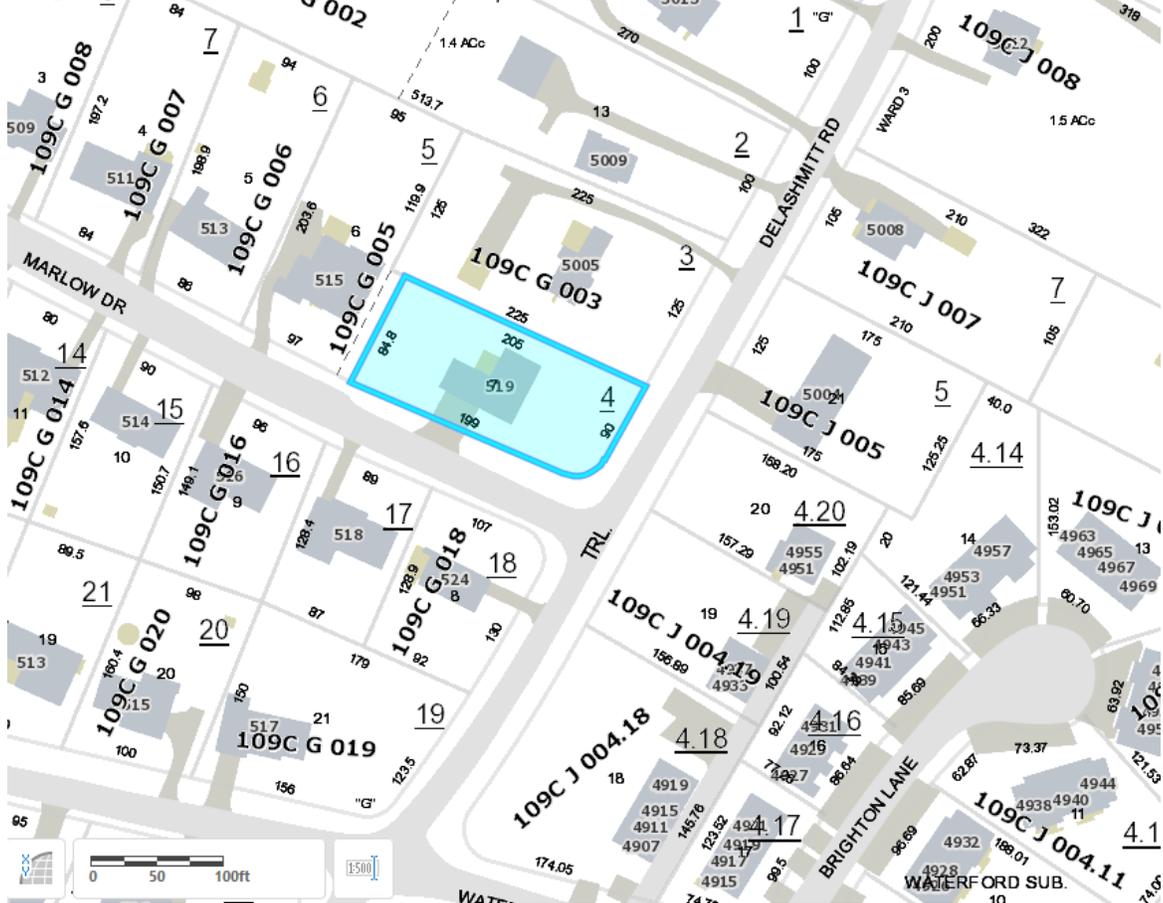
The applicant intends to re-subdivide the parcel into three lots and construct single-family detached dwellings on Lot 1 and Lot 3. Lot 2 will be occupied by the existing single-family home. The resulting density would be 7.4 units per acre. The proposed lots and building footprints are shown in the site plan below.

Streeview of Subject Property

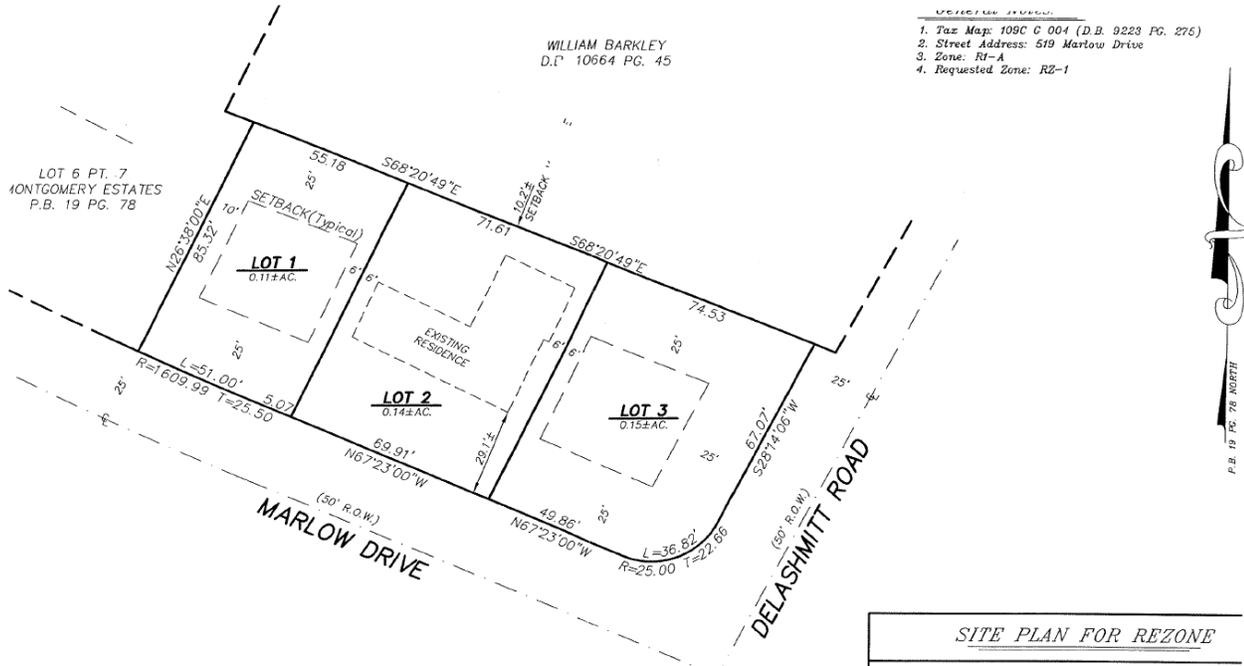


Source: Google Earth ; Date: 2016

Property Map of Existing Lot



Site Plan for Proposed Lots



Existing and Proposed Lot Dimensions

Zone	Existing	Proposed			Total
	R-1A	R-T/Z	R-T/Z	R-T/Z	
Address / Lot	519 E Marlow Dr	Lot 1	Lot 2	Lot 3	
Notes	SF Home	Small SFH proposed	Existing SF Home	Corner Lot, Small SF home proposed	Below max. 8 unit/ac density
Frontage (ft)	199	51	70	50	199
Width (ft)	197	52	70.5	74.5	197
Depth (ft)	85	85.32	85.32	85.32	85
Area (SF)	17,707	4,792	6,098	6,534	17,707
Area (ac)	0.41	0.11	0.14	0.15	0.41
Dwelling Units	1	1	1	1	3
Density (DU / acre)	2.5				7.4

Proposed Setbacks

R-T/Z Lot 1			R-T/Z Lot 2			R-T/Z Lot 3		
side setback	building envelope	side setback	side setback	building envelope	side	side	building envelope	side
10	36	6	6	58.5	6	6	32	25

Zoning Ordinance

R-T/Z zoning would allow the owner to create lots with less than 60 feet of frontage and a lot size below 7,500 square feet. The maximum density permitted in the R-T/Z zoning district is 8 units per acre. The proposed addition to two new single family homes on lots 1 and 3 will increase the total density across the three-lot site to 7.4 units per acre.

Dimensional Requirements for R-1A and R-T/Z Zoning Districts

Zoning District		Lot / Site Area	Lot Frontage / Width	Front Yard / Street	Side Yard	Rear Yard	Interior Street Setback	Setback b/w Bldgs	Setback from R-1, R1-A	Bldg Height	Min. Bldg Area
R-1A		7,500 sf	60'	25'	10'	25'				35'*	2,000 sf or smallest adjacent
R-T\Z	sfh	8 units / ac	35'	25'	10'	25'	15' ; or 10' if rear parking	40', 12' side to side		35'*	
	zero lot		35'	40', 25' w screening	0 to 1.5 or 10'	25'				35'*	
	townh		24'		10'	25'		40', 10' end to end		35'*	

Type C screening on the exterior lot lines of each proposed lot is required where it abuts the R-1 zoning district. There is no existing vegetation on the subject property that could be used to meet the screening requirement.

902.02 Screening Type Requirements

(C) Screening Type C: Provide a ten (10) feet deep (as measured towards the interior of the property) landscape yard along the shared property line planted with:

- 1) Evergreen trees spaced a maximum of ten (10) feet on-center or two (2) staggered rows (spaced a maximum of seven (7) feet apart) of shrubs spaced a maximum of eight (8) feet on-center.
- 2) All plantings shall meet the installation and planting size requirements specified in the Plant Installation Specifications section.

A 10-foot deep evergreen landscaping screen will be required on the side lot line of Lot 1 and the rear lot line of Lots 1 to 3. The small 10' side setback on Lot 1 may affect the location of the proposed home within the building footprint. There is no existing vegetation that could be used for screening. An updated version of the site plan should show the required Type C screening described above.

HCGIS Aerial Image of Subject Property



Zoning and Land Use Map

Rezoning Request: R-1A to R-T/Z, 519 Marlow Dr E, Carolyn Robinson



Compatibility with Surrounding Uses

The applicant intends to re-subdivide the parcel into three lots and construct single-family detached dwellings on Lots 1 and 2. The resulting density would be 7.4 units per acre. The proposed building footprints would allow for the construction of single-family homes with a similar square footage to those in the surrounding neighborhood.

The subject property abuts two small-lot single-family residences zoned R-1A. The surrounding area includes a mix of small-lot single family homes, several duplexes, and an apartment complex. The Montgomery Estates subdivision is made up of single-family homes and has an average density of 2.75 units per acre. The residential development along Delashmitt Road is made up of duplexes, apartments and single-family homes; this area has an average density of 4.5 units per acre.

The subject property sits at the corner of Marlow Drive and Delashmitt Road, a major collector that is maintained by the City of Chattanooga. Higher density residential development permitted under the R-T/Z zoning is generally encouraged in neighborhoods adjacent to major collectors. This corner lot could be well suited for higher density single-family housing. A new 32-unit R-T/Z development is already planned on the 8.5-acre site at 4701 Delashmitt Road. This property was rezoned from R-1A to R-T/Z in 2018.

Land Use Plan

The development of new small lot single-family homes at this location would increase the variety of the housing stock in Red Bank and address Goal C of the Red Bank Land Use Plan:

C-GOAL: Attract residential developers back to Red Bank for new development and redevelopment.
ACTION: New residential zones that provide more options and diversity of development while still protecting single-family neighborhoods.
ACTION: Reduced minimum lot size standards and setback requirements to make Red Bank competitive with surrounding communities.

RECOMMENDATION

The location of this corner property along Delashmitt Road and surrounding high-density development make the R-T/Z zoning and proposed development compatible with the surrounding neighborhood context. Staff recommends approval of the R-1A to R-T/Z rezoning request.

Staff recommends that applicant or surveyor submit an updated version of the site plan showing the required Type C screening and additional information about the proposed homes on Lots 1 and 3.

APPENDIX

Property Card

Hamilton County, Tennessee

Unofficial Property Card

Location 519 MARLOW DR	Property Account Number 33825	Parcel ID 109C_G_004
Property Type 22	Land Use 111	District RED BANK

Current Property Mailing Address

Owner COOPER JOHN ORMAN TR C/O CAROLYN ROBINSON	City NASHVILLE
Address 213 ANDOVER WAY	State TN
	Zip 37221

Current Property Sales Information

Sale Date 8/6/2010	Legal Reference 9223-0275
Sale Price \$0	Grantor(Seller) COOPER JOHN ORMAN

Current Property Assessment

Building Value \$88,800
Xtra Features Value \$0
Land Value \$40,200
Total Value \$129,000
Assessed Value \$32,250

Narrative Description

This property is classified as RESIDENTIAL with a(n) RANCH style structure on this card, built about 1960 with 1,167 square feet. Total square footage for all structures on this property is 1,167.

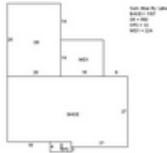
Land Description

The total land area of this property is (90X205IRR).

Legal Description

PT LT 7 MONTGOMERY ESTATES PB 19 PG 78

Property Images





Southeast Tennessee Development District
www.sedev.org

MEMORANDUM

To: Members of the Red Bank Municipal Planning Commission
From: Brian Taylor, SETDD Regional Planner
Date: June 12, 2019
Subject: Design Review for Redevelopment at 4707 Dayton Blvd

SUMMARY

Request: Design Review Permit for Redevelopment at 4707 Dayton Boulevard	
Tax Map #: Map 109B Group E Parcel 005	Address: 4707 Dayton Blvd
Owner: Red Bank Commons LLC	Applicant: Red Bank Commons LLC
Area: 8.63 acres	Floodplain: No
Existing Use: partially vacant; general retail / grocery (Dollar General)	Proposed Use: self-storage facility
Adjacent Uses: small-lot single-family, commercial properties	Zoning: L-1

Background: An application has been submitted by Eric Everette with Red Bank Commons LLC for the construction of a new self-storage facility in the vacant portion of the former Food Lion at 4707 Dayton Boulevard.

Recommendation: Approval with recommended revisions.

ANALYSIS

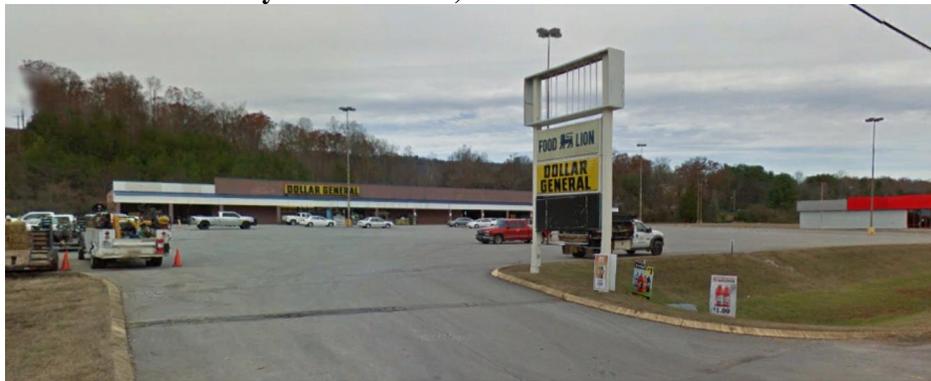
Existing and Proposed Use

The subject property is an 8.6-acre commercial property at 4707 Dayton Boulevard. The property has 455 feet of frontage on Dayton Boulevard and 65 feet of frontage on Browntown Road. The 44,000 square foot building is partially occupied by a Dollar General. It was formerly occupied by a Food Lion grocery store. The applicant intends to redevelop 29,000 square feet of vacant space in this existing commercial building for use as a self-storage facility. The redevelopment of the existing building must meet requirements in the Design Review Standards. Conformance of the existing and proposed development with the Design Review Standards is detailed in the checklist below.

Aerial Image of Subject Property, 2016



Street View from Dayton Boulevard, 2016



Design Review Standards Checklist

BUILDING ZONE	Y/ N	Standard	Existing / Proposed development and modifications
Building Setbacks	Y	<i>1. Buildings shall be setback a minimum of 12' and a maximum of 25' from the public right-of-way.</i>	The existing building is set back approximately 300' from the public right-of-way. The reuse of the existing building exempts the applicant from the building setback requirement.
Building Setback from Sidewalk	na	<i>2. Newly constructed buildings shall be set back zero (0) feet from the back of the sidewalk, unless a Storefront area with a maximum width of 8' is provided between the Sidewalk and the Building Zone.</i>	

Storefront Amenities	na	2. <i>The Storefront area shall include outdoor dining, public space with seating, and / or enhanced pedestrian entrances that connect buildings with the Pedestrian Zone.</i>	
Pedestrian Entrance	Y	<i>Visible from public ROW</i>	Pedestrian entrances are visible from the public right-of-way.
Façade Architectural Features	Y	1. <i>Facades visible from the public right-of-way shall include two or more of the following architectural features:</i>	The existing storefront includes an arcade. The Planning Commission can waive the requirement for a second architectural feature or approve one proposed by the applicant.
		a. <i>awning, canopy or marquee,</i>	
		b. <i>balconies,</i>	
		c. <i>projecting cornices,</i>	
		d. <i>recessed entrances or bays,</i>	
	Y	e. <i>arcades,</i>	
		f. <i>wall mural, or</i>	
	Y	g. <i>other architectural elements approved by PC.</i>	
Façade Materials	Y?	2. <i>No single approved material (excluding glass) shall exceed seventy (70%) percent of the exterior building wall(s) that is visible from a public right-of-way</i>	The existing brick façade likely meets façade materials requirements, but this is not possible to determine from the elevation drawings. The elevation drawings need to identify existing and proposed façade materials.
	Y	<i>Permitted materials include: glass, brick, stone, hard coat stucco, pre-cast concrete, architectural metal panels, and faux stone, and other materials approved by the Planning Commission that meet the intent of the Design Review Ordinance.</i>	
Façade Transparency	Y	1. <i>For retail buildings, façades facing the public right-of-way shall have at least forty percent (40%) of the façade area comprised of clear vision glass at the ground level on the facade unless a specific alternative design is approved.</i>	The ground level façade has greater than 25% transparency.
		2. <i>For non-retail buildings, façades facing the public right-of-way shall have at least twenty-five percent (25%) of the façade area comprised of clear vision glass unless a specific alternative design is approved.</i>	

Massing, Articulation on walls > 30'	Y	<i>1. Façades longer than thirty (30) feet and visible from public right-of-way shall be broken down into smaller units through the use of articulation (See Figure 4). Articulation may include</i>	The façade of the existing building is longer than 30 feet. The site plan must show some form of articulation along the façade of the proposed self-storage facility. The columns supporting the arcade could be considered a form of articulation.
		<i>a. offsets,</i>	
		<i>b. recesses,</i>	
		<i>c. staggered walls,</i>	
		<i>d. stepped walls,</i>	
		<i>e. pitched or stepped rooflines,</i>	
	Y	<i>g. other elements of the building's mass.</i>	
Massing, Building Height	Y	<i>Compatible with height of surrounding buildings built close to the street</i>	The existing building is 1 story tall.
Entrances, Orientation	Y	<i>1. Primary pedestrian entrances shall face public streets, open spaces or plazas to the maximum extent practicable.</i>	Pedestrian entrances face Dayton Boulevard.
Entrances, Weather Protection	Y	<i>2. Primary pedestrian entrances shall provide weather protection in the form of awnings, canopies, marquees or recessed entrances, to the maximum extent practicable.</i>	Pedestrian entrances are covered by canopies.
Roof	Y	<i>3. Mechanical equipment located on roof tops shall be screened from the public right-of-way.</i>	No mechanical equipment is visible in the elevation drawings.
PARKING ZONE	Y/N	Standard	Existing / Proposed development and modifications
Rear Parking	Y	<i>1. To the maximum extent practicable, parking shall be located to the rear of any building with the exception of preexisting buildings</i>	
Side Parking	Y	<i>2. If all new parking cannot be accommodated to the rear of the building, parking on the side of the building may be permitted if screened from the public right-of-way.</i>	

Front Parking	Y	<i>4. Parking for new construction shall not be located between a building and the street, unless the Planning Commission determines that parking on the rear and side of the building is precluded by flood hazard areas, other exceptional conditions of the lot, or the reuse of a preexisting building.</i>	The reuse of the existing building precludes the relocation of parking to the side or rear of the property. The site plan and elevation drawing show screening between the parking lot and Dayton Boulevard.
Parking Lot Screening	Y	<i>5. Any existing parking zone fronting the public right-of-way shall be screened from the public right-of-way</i>	The parking area is screened from Dayton Boulevard with a boxwood hedge to be installed on the rear edge of the ~260' long grass detention basin between the curb cuts.
Parking Lot Screen Height	Y	<i>3' min. to 6' max. height</i>	The elevation drawing shows a boxwood hedge installed between 3' and 4' tall.
Parking Lot Screen Materials	Y	<i>3. Screening of existing parking lots shall consist of :</i>	The elevation drawing and site plan show a permitted type of landscape screening.
		<i>a decorative masonry wall</i>	
	Y	<i>landscaping</i>	
		<i>a combination of a decorative fence and landscaping</i>	
Parking Lot Landscaping	Y?	<p><i>1 tree per 10 parking spaces on lots with greater than 25 spaces</i></p> <p><i>2. Adjacent aisles of parking should be divided by landscaped islands that break parking areas into blocks.</i></p> <p><i>3. Parking lot landscaping that incorporates best management practices (BMPs) for storm water and other green infrastructure into the design are encouraged to reduce storm water runoff and pollution.</i></p>	<p>There are 180 existing parking spaces on the site. At least 18 trees will need to be planted somewhere across the total parking lot area.</p> <p>The site plan proposes 18 red buds planted on 9 split-face landscaped blocks. The red buds will have a height of 3 to 4 feet at installation and 10 to 12 feet at maturity. The elevation drawings do not indicate the height of the red buds depicted.</p> <p>The elevation drawing shows the red buds with a variety of different canopy shapes.</p> <p>The site plan should show the dimensions of the landscaped blocks and any notes on compatibility with the proposed red buds.</p> <p>The redevelopment of the parking area with stormwater BMPs could be used to address the serious stormwater issues identified on the site.</p>
Parking Lot Lighting	N?	<i>1. All lighting features shall be shielded, equipped with refractors, or placed indirectly to prevent stray upward light or direct light causing glare.</i>	There are four existing parking lot lighting structures. The existing light poles will remain. Fixtures will be replaced with new LED

	Y?	3. <i>Parking lot lighting shall be appropriate to create adequate visibility at night and evenly distributed to increase security. Parking lots must have a minimum illumination of 0.8 foot-candles at the ground level.</i>	fixtures designed for a minimum illumination of 0.8 foot-candles. The elevation drawings should show or make note of any proposed refractors, or other measures required to reduce upward light and glare.
	na	4. <i>Parking lot lighting structures shall not exceed a height of twenty (20) feet.</i>	The elevation drawings should indicate the height of the existing lighting structures. Parking lot lighting height requirements can be waived for existing lighting structures.
Service and Equipment Areas	na	<i>Screening that meets Red Bank Zoning Ordinance</i>	
Fences, Walls and Screening	na	1. <i>Chain link and slat fencing shall not be allowed to screen properties from the public right-of-way.</i>	
	na	4. <i>Long stretches, over twenty (20) feet, of fencing or blank wall without intermittent elements such as posts or columns shall be avoided.</i>	
SIGNAGE	Y/ N	Standard	Existing / Proposed development and modifications
A. General Signage Requirements	Y?	1. <i>All developments shall comply with sign regulations in the Red Bank Sign Ordinance.</i>	Images of proposed signage must be submitted with application and shown on the elevation drawings and site plan. A proposed sign for the existing pole sign was not submitted.
B. Freestanding Signs	na	1. <i>Monument signs shall be defined as advertising that is ground mounted so that there is no space between the ground and the bottom of the sign.</i>	
	na	2. <i>Monument signs shall not exceed six (6) feet in height or ten (10) feet in width. Monument signs shall not exceed a maximum surface area of thirty-two (32) square feet.</i>	
	Y	4. <i>Pole-mounted signs are shall not be permitted.</i>	The existing pole sign is a non-conforming use.
	na	5. <i>Signage on either vehicle service/repair or fueling station canopies shall not be permitted.</i>	
C. Building Signs		2. <i>Roof signs shall not be permitted.</i>	

NATURAL FEATURES	Y/N	Standard	Proposed development and modifications	
Tree Survey / Plan	na	<i>Developers shall submit an existing tree survey showing each tree with a DBH of 6" and a preservation plan to show compliance with these standards.</i>	There are trees at the rear of the property. There are no plans to develop this portion of the property.	
Specimen Tree Retention	na	<i>2. On sites with existing mature trees, at least a third (33%) of specimen trees shall be preserved or transplanted on site, to the maximum extent practicable.</i>		
Natural Features on Site Plan	N	<i>1. Site plans shall show natural features, including stream corridors and wetlands, steep slopes, and existing trees.</i>	<p>Show the stream at the rear of the property.</p> <p>The site plan or a stormwater plan should show how existing and proposed stormwater BMPs will convey stormwater on the property. A stormwater plan or notes should specifically address stormwater drainage issues on the rear of the property.</p> <p>The site plan or a stormwater plan must show the existing stormwater detention basin that fronts Dayton Boulevard.</p>	
PEDESTRIAN ZONE	Y/N	Standard	Existing	Proposed
Sidewalks, Width	Y	<p><i>Sidewalks shall be a minimum of seven (7) feet in width. Existing sidewalks of 5' width or greater shall be exempt from this requirement.</i></p> <p><i>Deviations may be approved by the Planning Commission or City Manager if necessary, for limiting physical characteristics or for alternative designs that are judged to meet the intent of the Design Review Ordinance.</i></p>	There is an existing sidewalk fronting the entire length of the property. The width of the sidewalk is approximately 5 feet.	No sidewalk modifications have been proposed.
Sidewalks, Pedestrian Lane	Y	<i>5' min. width</i>	The width of the sidewalk is approximately 5 feet.	
Street Trees	N	<i>Street trees shall be planted in the Pedestrian Zone along the right-of-way at least every thirty-five (35) linear feet to the maximum extent practicable.</i>	There are no existing street trees located within the pedestrian zone.	Street tree requirements can be waived by the Planning Commission or City Manager

Lighting	N	<i>Street lighting will be installed in the Pedestrian Zone along Dayton Boulevard to the maximum extent practicable.</i>	There is no existing lighting located within the pedestrian zone.	Lighting requirements can be waived by the Planning Commission or City Manager
Curb Cuts	Y		There are two curb cuts to Dayton Boulevard on the subject property.	

Zoning Ordinance

The subject property was rezoned to L-1 in 2019. The owner will be permitted to redevelop the proposed self-storage facility within the existing building under the L-1 zoning district requirements.

The ~180 parking spaces shown on the site plan meet the parking space requirements under Section 406.01 of the Red Bank Zoning Ordinance. Reductions in parking space requirements are permitted under Section 406.01 (J).

Screening is required against the adjacent commercial uses. Red rocket crape myrtles with a height of 6 to 8 feet are proposed as screening against these adjacent properties to the north and south. A total of 17 crape myrtles are proposed in the site plan.

Land Use Plan

The development of new self-storage facility does not conflict with the goals of the Red Bank Land Use Plan.

RECOMMENDATION

Staff recommends approval of the design review application for new construction at 4707 Dayton Boulevard subject to the recommended revisions listed below.

Site Plan

- Add a scale bar
- Identify lighting in the site plan
- Show dimensions of the boxwood hedge row and location on the edge of the stormwater detention basin
- Identify property boundaries
- Note the distance between the building and the public right-of-way (Dayton Blvd.)
- Identify landscape islands and dimensions. Note dimensions large enough to accommodate the red buds.
- Identify the existing sidewalk and width
- Note which features are existing and which are proposed
- Add a legend or notation for features in the site plan

Elevation Drawings

- Identify architectural features on façade (e.g. arcade)

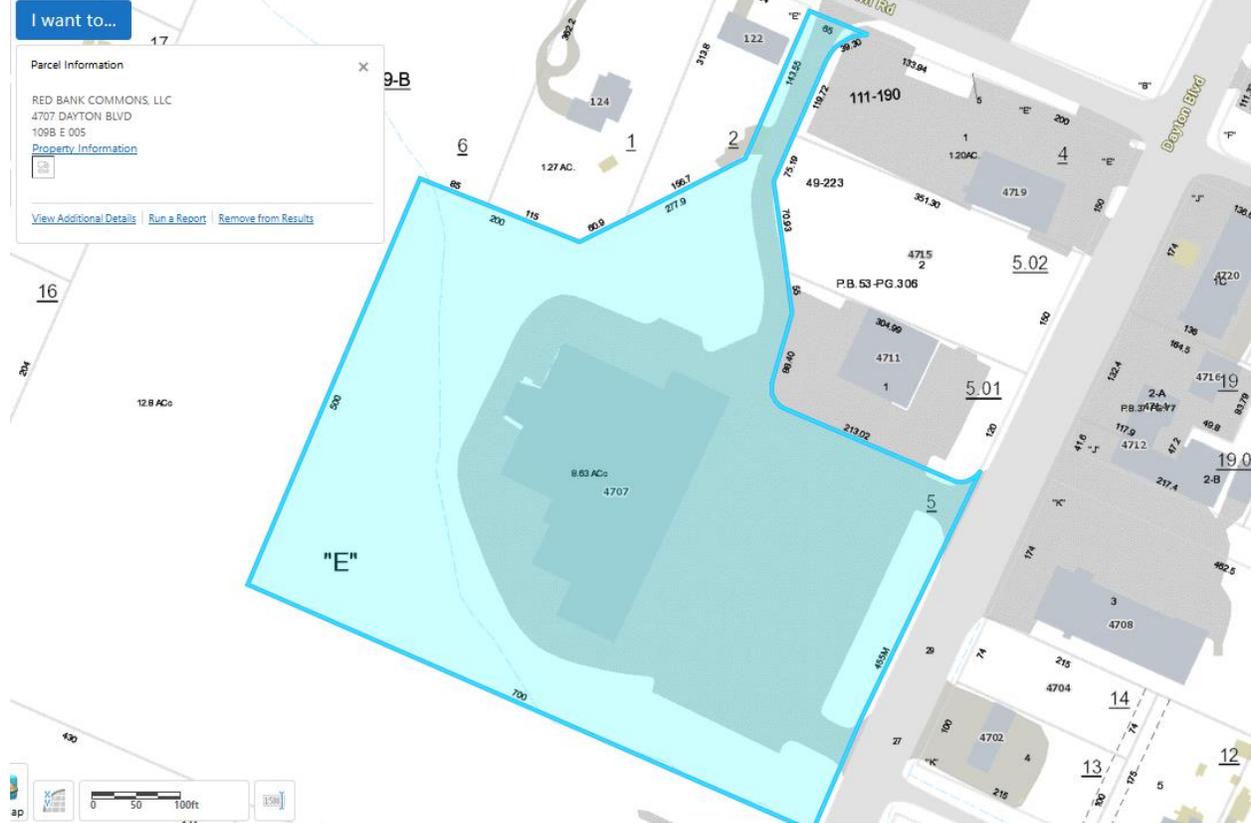
- Add a scale bar
- Identify façade materials on the building
- Identify the height and of the red bud trees as drawn in the site plan
- Identify the height of the lighting structures
- Note which features are existing and which are proposed

Stormwater Plan

- The site plan or a stormwater plan should show how existing and proposed stormwater BMPs will convey stormwater on the property. A stormwater plan or notes should specifically address stormwater drainage issues on the rear of the property.
- The site plan or a stormwater plan must show the existing stormwater detention basin that fronts Dayton Boulevard.

APPENDIX

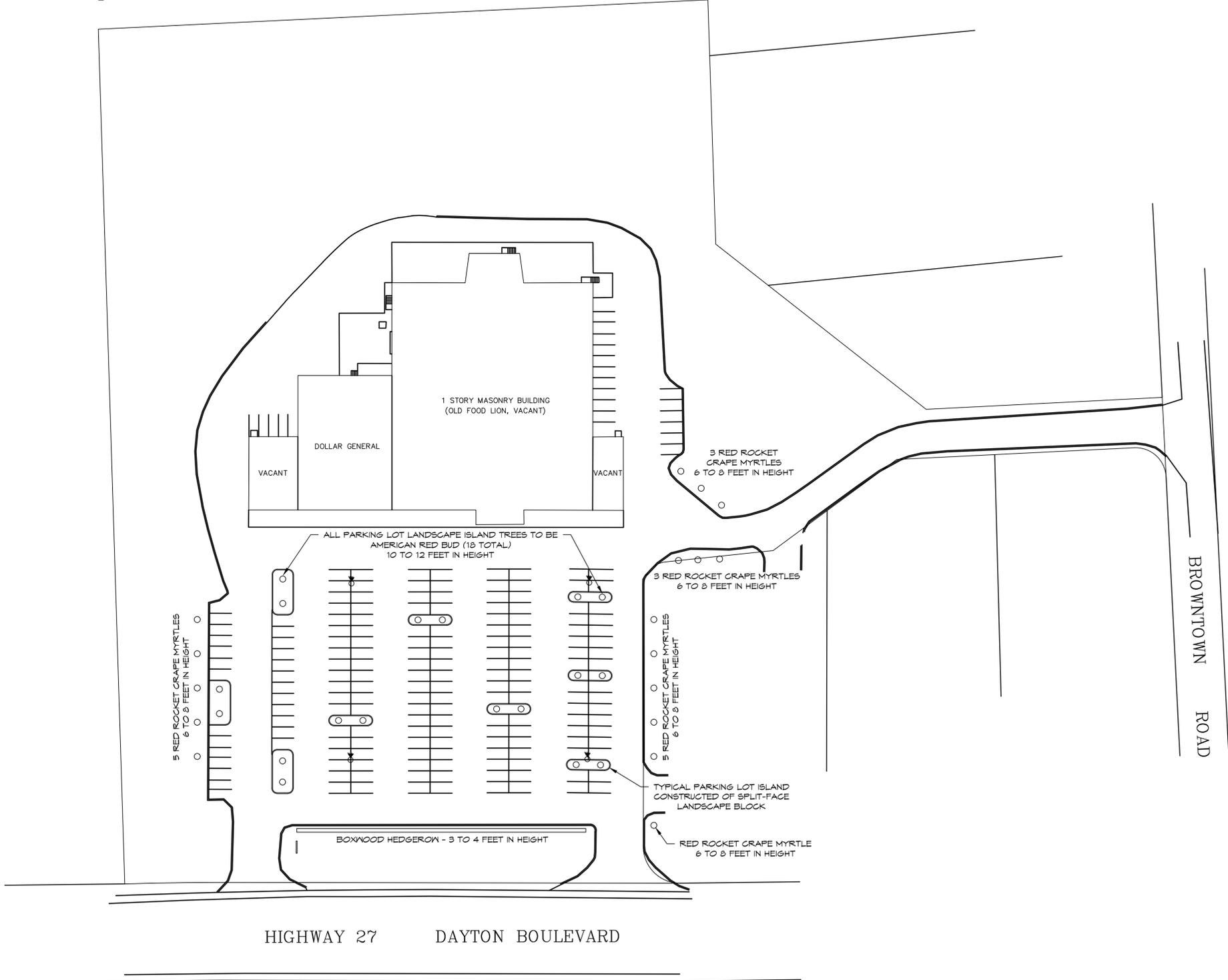
HC GIS Property Map



Property Card

Location 4707 DAYTON BLVD	Property Account Number 33455	Parcel ID 109B_E_005
Property Type 08	Land Use 541	District RED BANK
Current Property Mailing Address		
Owner RED BANK COMMONS, LLC	City COLLIERVILLE	State TN
Address PO BOX 1509	Zip 38027	
Current Property Sales Information		
Sale Date 8/12/2015	Legal Reference 10544-0065	
Sale Price \$475,000	Grantor(Seller) LN RED BANK LLC	
Current Property Assessment		
Building Value \$488,300		
Xtra Features Value \$75,900		
Land Value \$647,300		
Total Value \$1,211,500		
Assessed Value \$484,600		
Narrative Description		
This property is classified as COMMERCIAL with a(n) SUPERMARKET style structure on this card, built about 1993 with 44,404 square feet. Total square footage for all structures on this property is 44,404.		
Land Description		
The total land area of this property is (455X700IRR).		
Legal Description		
W/S DAYTON PIKE		

Submitted May 2019



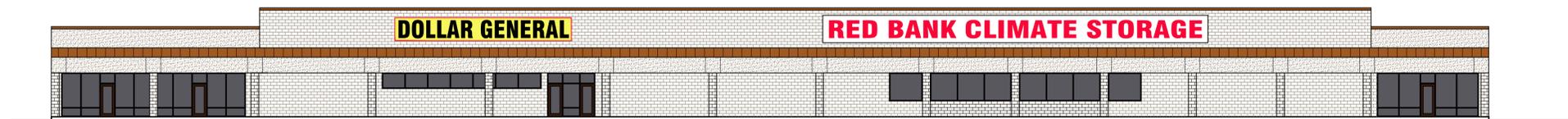
 NORTH **SITE PLAN**
1" = 50'-0"

Submitted May 2019



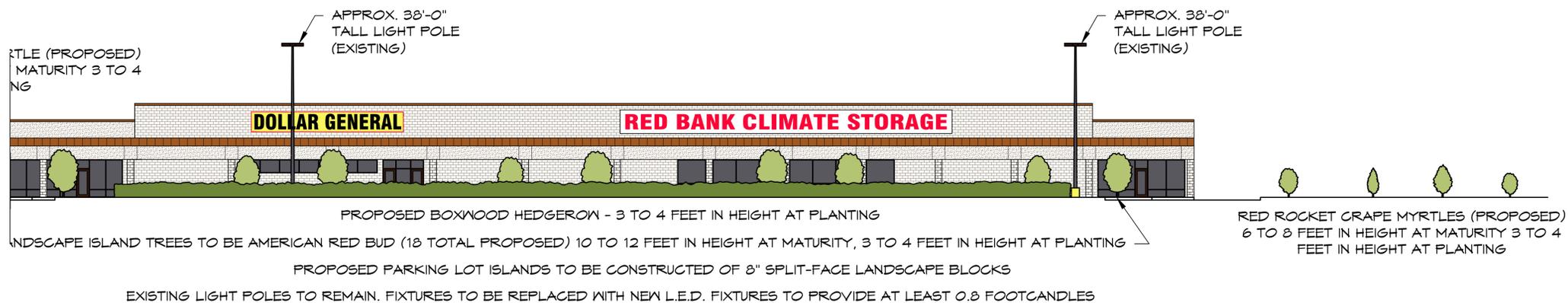
PARKING LOT ISLANDS TO BE CONSTRUCTED OF 8" SPLIT-FACE LANDSCAPE BLOCKS
EXISTING LIGHT POLES TO REMAIN. FIXTURES TO BE REPLACED WITH NEW L.E.D. FIXTURES TO PROVIDE AT LEAST 0.8 FOOTCANDLES

BUILDING FRONT ELEVATION - STREET VIEW
1/16" = 1'-0"

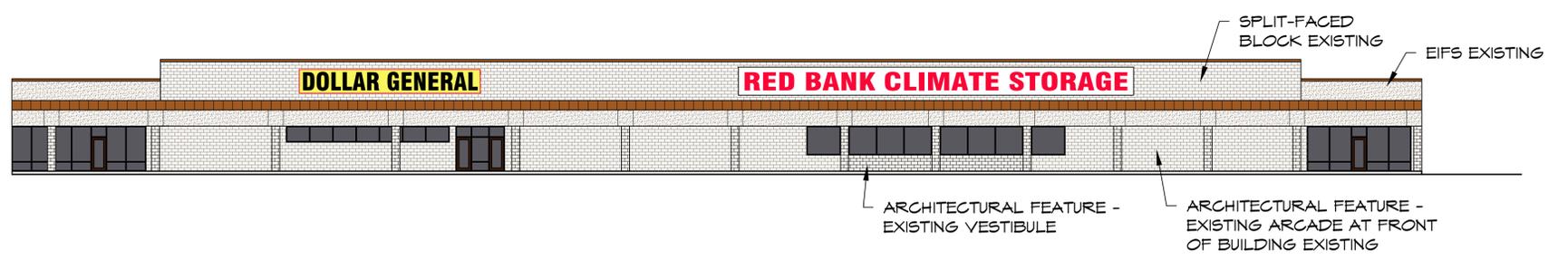


BUILDING FRONT ELEVATION
1/16" = 1'-0"

Submitted 6.10.2019



BUILDING FRONT ELEVATION - STREET VIEW
 1/16" = 1'-0"
 1 4 8 16 32 64 128 FEET



BUILDING FRONT ELEVATION
 1/16" = 1'-0"
 1 4 8 16 32 64 128 FEET